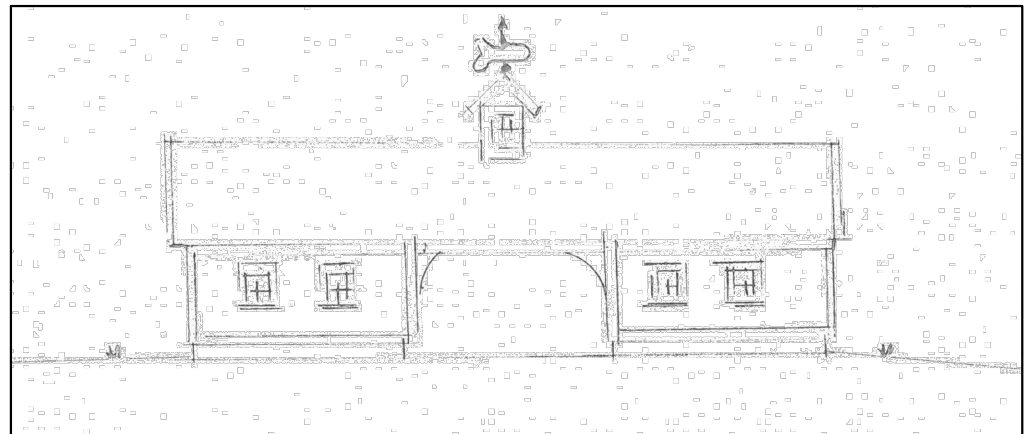




PROPOSED GARAGES
(OPTIONAL)

NITROGEN LOADING LIMITATIONS

NOTE: ASSESSORS LOT G12-29-02 AND H12-01-09B ARE BOTH WITHIN A ZONE II AQUIFER PROTECTION ZONE.
ASSESSORS LOT G12-29-02 AND H12-01-09B ARE NOT WITHIN 400 FEET OF A PUBLIC WELL.
ASSESSORS LOT G12-29-02 AND H12-01-09B ARE NOT WITHIN A NATURAL RESOURCE AREA PER 15.214 (1)(b)

15.215: NITROGEN LOADING LIMITATIONS
PUBLIC AND PRIVATE WATER SUPPLY PROTECTION AREAS. NO FACILITY OWNER FOR NEW CONSTRUCTION
IN NITROGEN SENSITIVE AREAS DESIGNATED IN 310 CMR 15.214(1)(A) SHALL INSTALL A SYSTEM DESIGNED
TO RECEIVE OR ALLOW 310 CMR 15.202 (USE OF RECIRCULATING SAND FILTERS), A SYSTEM TO RECEIVE MORE THAN 440 GALLONS OF
DESIGN FLOW PER DAY PER ACRE EXCEPT AS SET FORTH IN 310 CMR 15.216 (AGGREGATE FLOWS) OR 15.217 (ENHANCED NITROGEN REMOVAL)

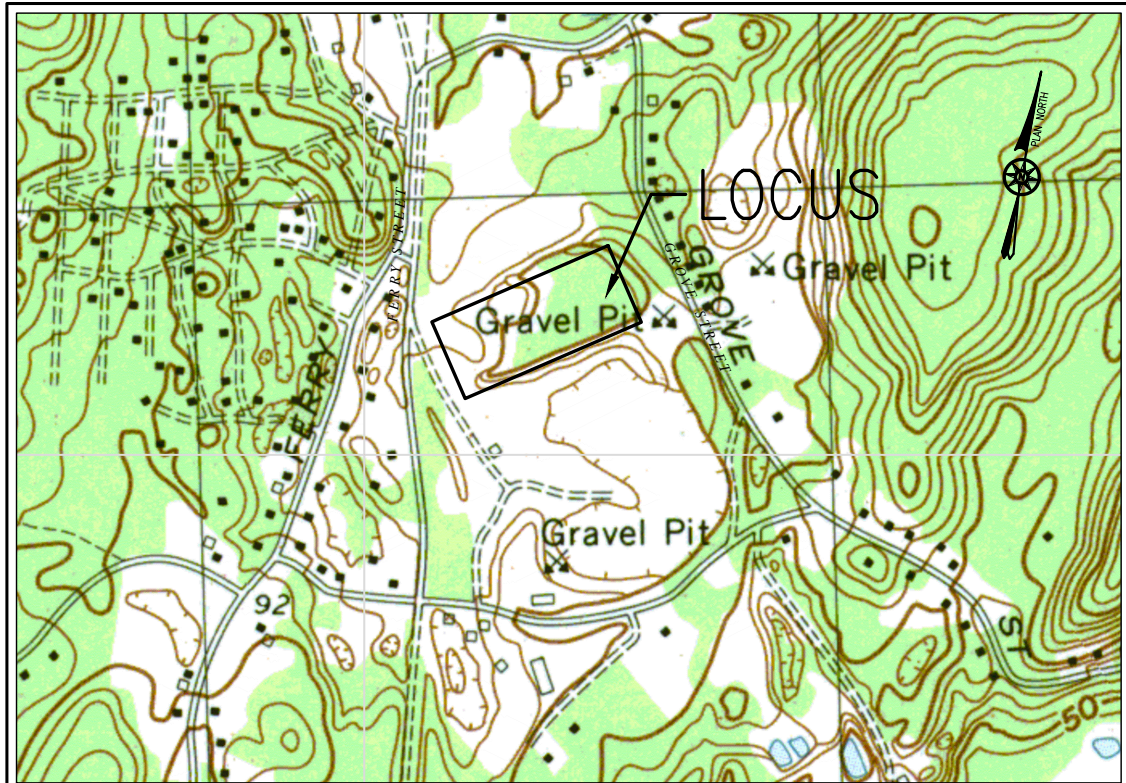
15.216: AGGREGATE DETERMINATIONS OF FLOWS AND NITROGEN LOADINGS
(1) THE 440 GALLONS PER DAY PER ACRE NITROGEN LOADING LIMITATION IMPOSED BY 310 CMR
15.215(1) MAY BE CALCULATED IN THE AGGREGATE BY USING NITROGEN CREDIT LAND IN ACCORDANCE WITH
AN APPROVED FACILITY AGGREGATION PLAN OR COMMUNITY AGGREGATION PLAN. APPLICANTS PROPOSING
SYSTEMS TO BE LOCATED WITHIN A COMMUNITY OR REGION COVERED BY A COMMUNITY AGGREGATION PLAN
APPROVED BY THE DEPARTMENT SHALL CALCULATE AGGREGATE DETERMINATIONS OF FLOWS AND NITROGEN
LOADINGS IN ACCORDANCE WITH THE PLAN AND THE DEPARTMENT'S GUIDELINES FOR TITLE 5 AGGREGATION
OF FLOWS AND NITROGEN LOADING. ALL OTHER APPLICANTS SEEKING AGGREGATE DETERMINATION OF FLOWS
AND NITROGEN LOADING SHALL PREPARE A FACILITY AGGREGATION PLAN IN ACCORDANCE WITH 310 CMR
15.216 AND THE DEPARTMENT'S GUIDELINES FOR TITLE 5 AGGREGATION OF FLOWS AND NITROGEN LOADING

PROPOSED DESIGN FLOW: 88 BEDROOMS X 110 GPD = 9,680 GPD
LOT AREA: G12-29-02 435,600 S.F. H12-01-09B 220,349 S.F.
NITROGEN LOADING RATE: = 40,000 X 9,680 / (435,600 + 220,349) = 591 GPD/ACRE
> 440 GPD/ACRE ALLOWED
(660 GPD DENITE SYSTEM IS AN ALTERNATIVE)

SHEET INDEX

- SHEET 1 COVER SHEET
- SHEET 2 EXISTING CONDITIONS
- SHEET 3 LAYOUT
- SHEET 4 LAYOUT
- SHEET 5 PLAN & PROFILE
- SHEET 6 PLAN & PROFILE
- SHEET 7 GRADING
- SHEET 8 CUT & FILL
- SHEET 9 DETAILS SEPTIC SYS.
- SHEET 10 DETAILS STORMWATER
- SHEET 11 DETAILS WATER
- SHEET 12 DETAILS
- SHEET 13 EROSION CONTROL/PHASING
- SHEET 14 LANDSCAPING

BUILDING TABLE				
BUILDING #	UNITS/BUILDING	BEDROOMS	BEDROOMS/BLD	SEPTIC SYSTEM DESIGN FLOW GPD
OFFICE	1	=364 x 50 GPD/1000 S.F.		20
1	7	4-1BR, 2-2BR, 1-3BR	11	1210
2	7	4-1BR, 2-2BR, 1-3BR	11	1210
3	7	4-1BR, 2-2BR, 1-3BR	11	1210
4	7	4-1BR, 2-2BR, 1-3BR	11	1210
5	7	4-1BR, 2-2BR, 1-3BR	11	1210
6	7	4-1BR, 2-2BR, 1-3BR	11	1210
7	7	4-1BR, 2-2BR, 1-3BR	11	1210
8	7	4-1BR, 2-2BR, 1-3BR	11	1210
TOTAL	57		88	9700



LOCATION MAP SCALE: 1" = 1,000'

REFERENCES:

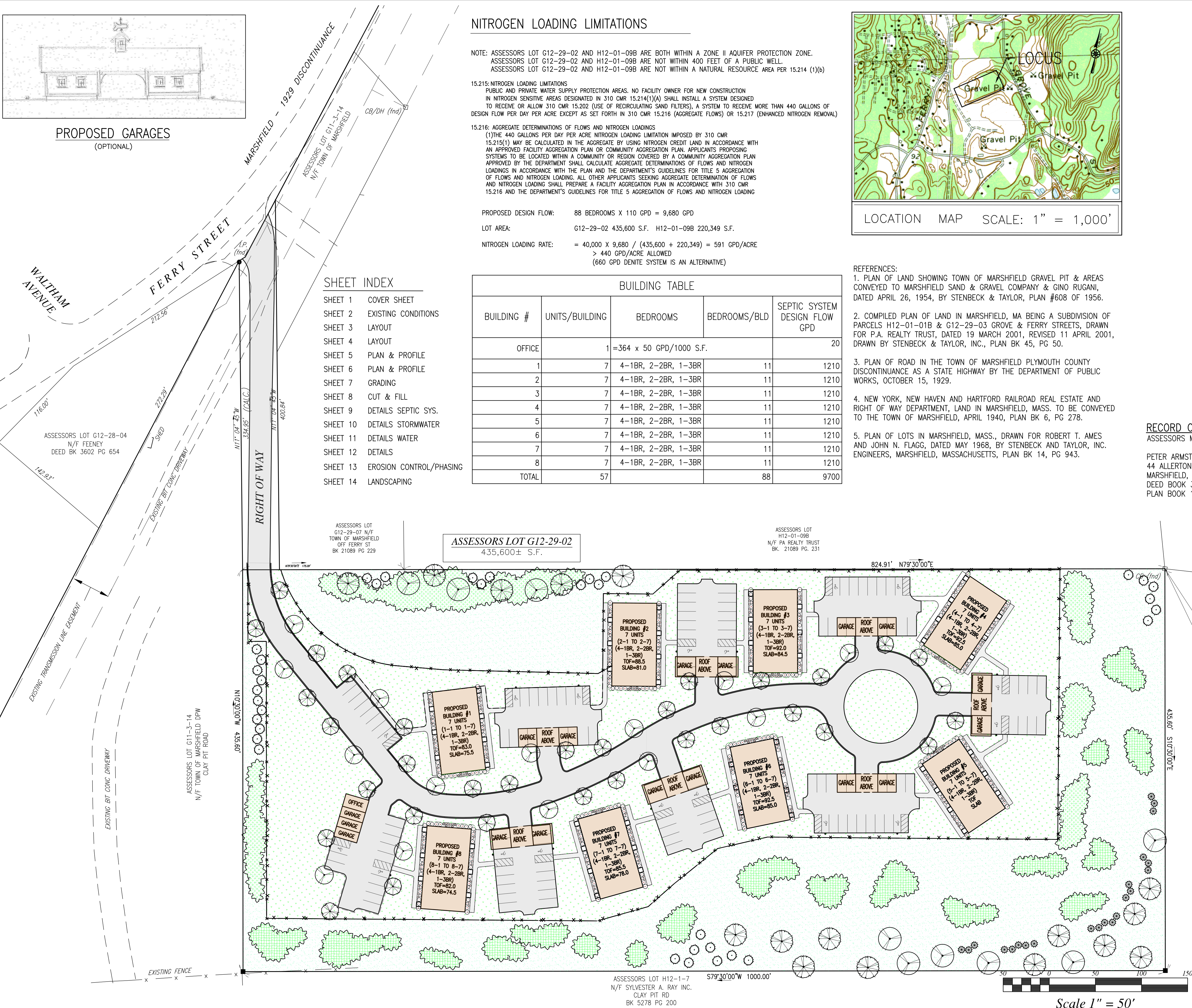
1. PLAN OF LAND SHOWING TOWN OF MARSHFIELD GRAVEL PIT & AREAS
CONVEYED TO MARSHFIELD SAND & GRAVEL COMPANY & GINO RUGANI,
DATED APRIL 26, 1954, BY STENBECK & TAYLOR, PLAN #608 OF 1956.
2. COMPILED PLAN OF LAND IN MARSHFIELD, MA BEING A SUBDIVISION OF
PARCELS H12-01-01B & G12-29-03 GROVE & FERRY STREETS, DRAWN
FOR P.A. REALTY TRUST, DATED 19 MARCH 2001, REVISED 11 APRIL 2001,
DRAWN BY STENBECK & TAYLOR, INC., PLAN BK 45, PG 50.
3. PLAN OF ROAD IN THE TOWN OF MARSHFIELD PLYMOUTH COUNTY
DISCONTINUANCE AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC
WORKS, OCTOBER 15, 1929.
4. NEW YORK, NEW HAVEN AND HARTFORD RAILROAD REAL ESTATE AND
RIGHT OF WAY DEPARTMENT, LAND IN MARSHFIELD, MASS. TO BE CONVEYED
TO THE TOWN OF MARSHFIELD, APRIL 1940, PLAN BK 6, PG 278.
5. PLAN OF LOTS IN MARSHFIELD, MASS., DRAWN FOR ROBERT T. AMES
AND JOHN N. FLAGG, DATED MAY 1968, BY STENBECK AND TAYLOR, INC.
ENGINEERS, MARSHFIELD, MASSACHUSETTS, PLAN BK 14, PG 943.

RECORD OWNER:

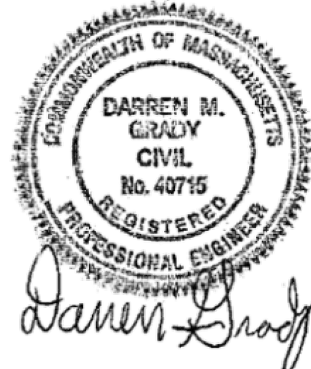
ASSESSORS MAPS G12-29-02

PETER ARMSTRONG
44 ALLERTON STREET
MARSHFIELD, MA 02050
DEED BOOK 31665 PAGE 346
PLAN BOOK 10 PAGE 1007

TIMOTHY R. BENNETT P.L.S. #36856 DATE



BENCHMARK
CONCRETE BOUND
ELEVATION = 92.25
(NGVD DATUM)

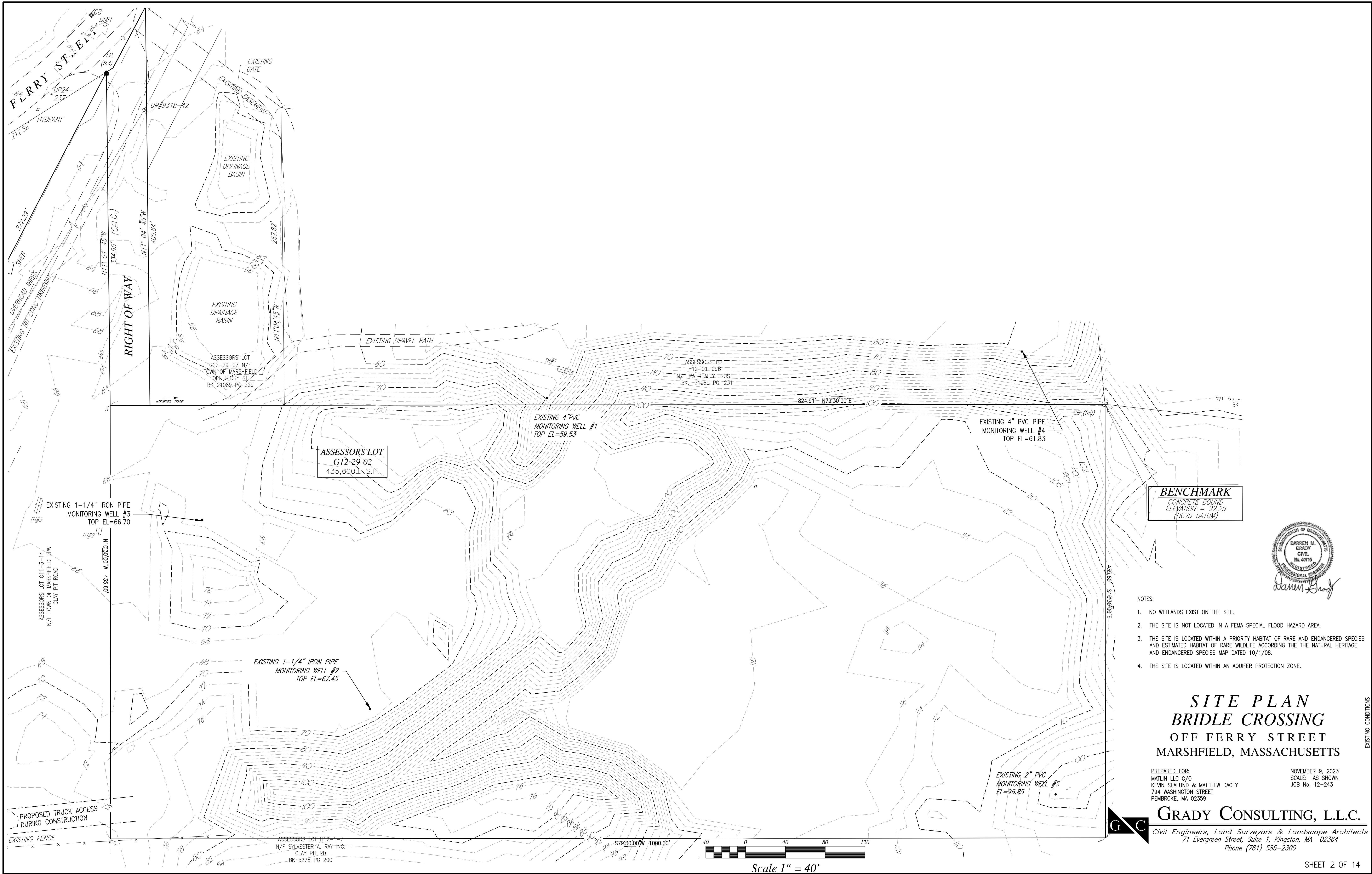


SITE PLAN
BRIDLE CROSSING
OFF FERRY STREET
MARSHFIELD, MASSACHUSETTS

PREPARED FOR:
MATLIN LLC C/O
KEVIN SEALUND & MATTHEW DACEY
794 WASHINGTON STREET
PEMBROKE, MA 02359

NOVEMBER 9, 2023
SCALE: AS SHOWN
JOB No. 12-243

GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300



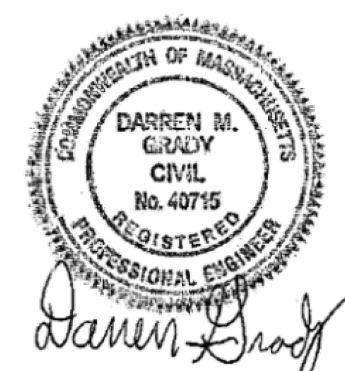
- NOTES:
1. NO WETLANDS EXIST ON THE SITE.
 2. THE SITE IS NOT LOCATED IN A FEMA SPECIAL FLOOD HAZARD AREA.
 3. THE SITE IS LOCATED WITHIN A PRIORITY HABITAT OF RARE AND ENDANGERED SPECIES AND ESTIMATED HABITAT OF RARE WILDLIFE ACCORDING TO THE NATURAL HERITAGE AND ENDANGERED SPECIES MAP DATED 10/1/08.
 4. THE SITE IS LOCATED WITHIN AN AQUIFER PROTECTION ZONE.

SITE PLAN
BRIDLE CROSSING
OFF FERRY STREET
MARSHFIELD, MASSACHUSETTS

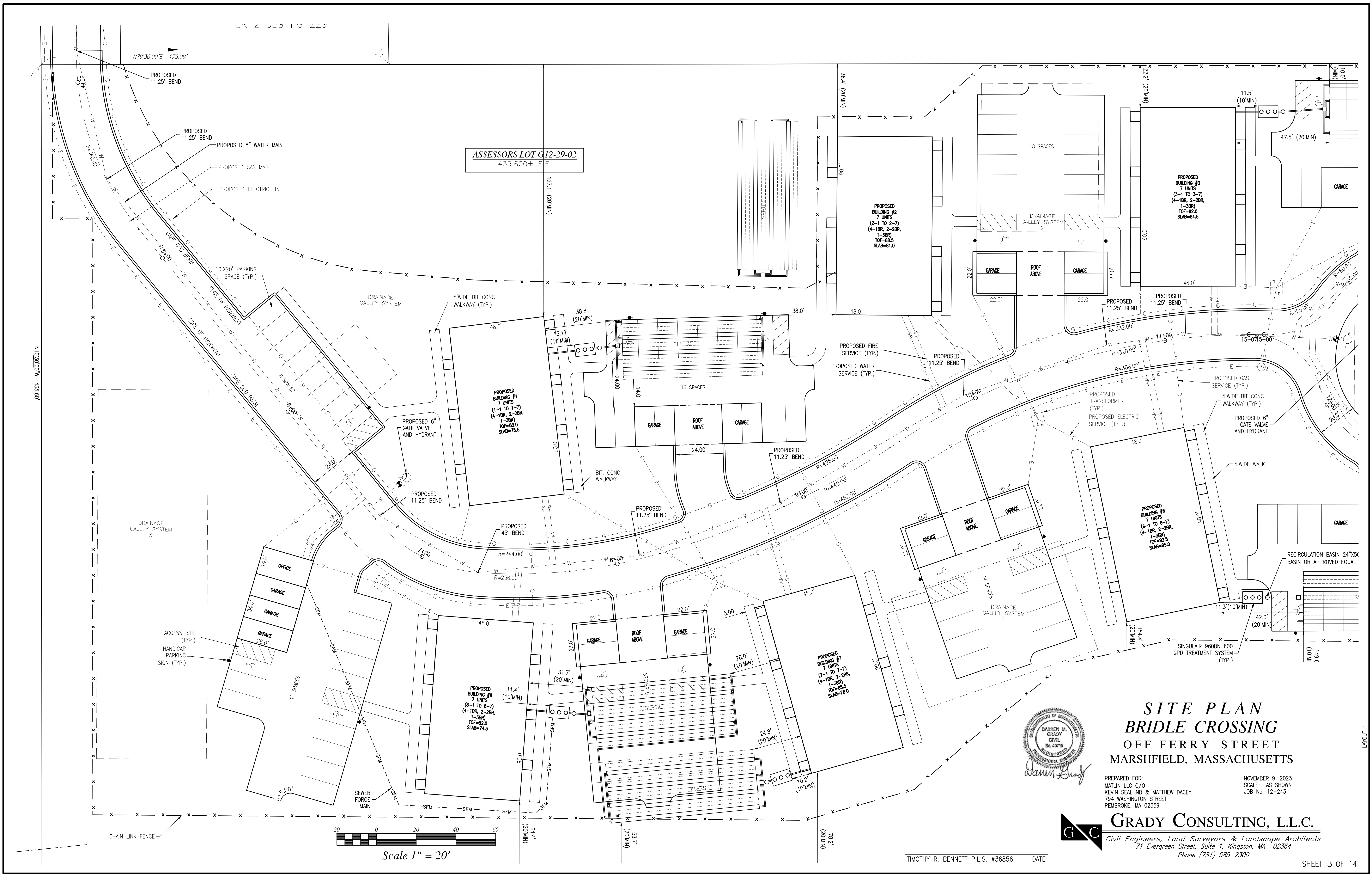
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EXISTING CONDITIONS

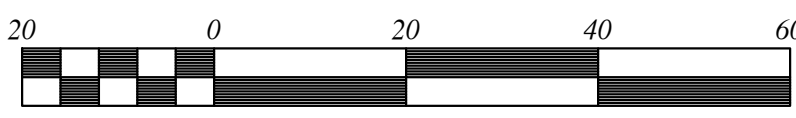


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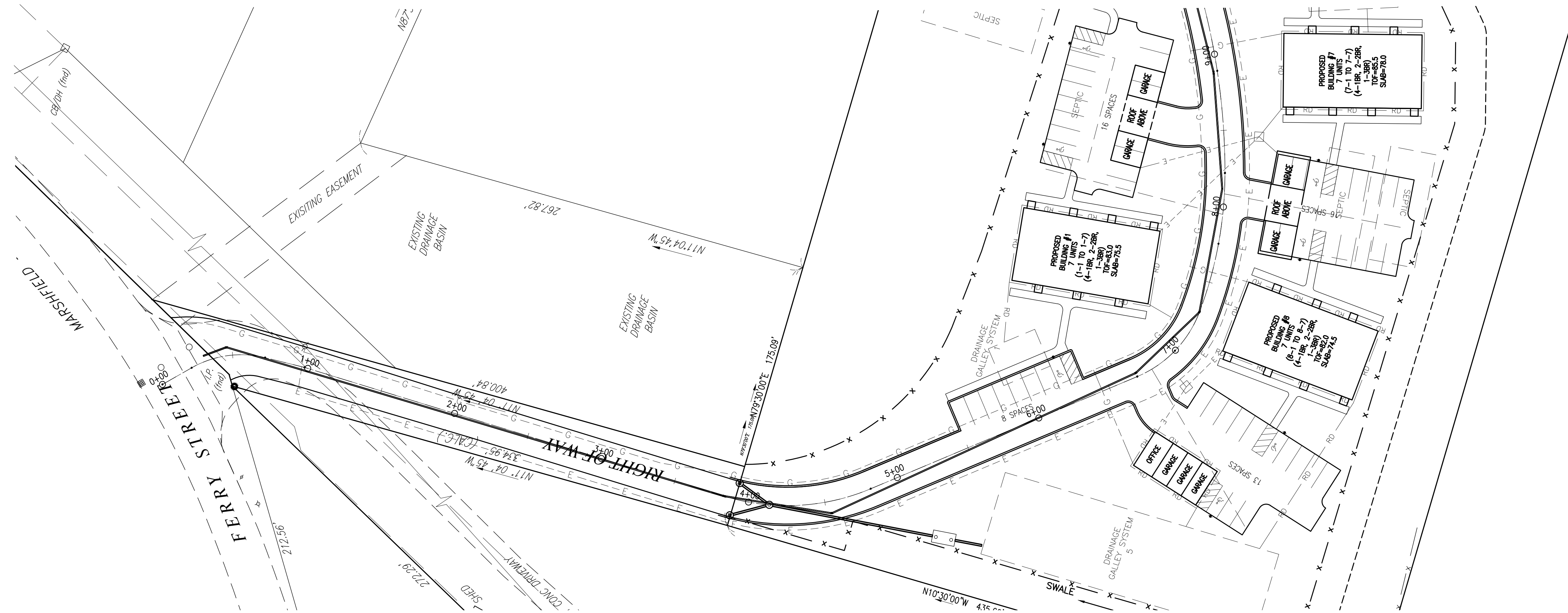
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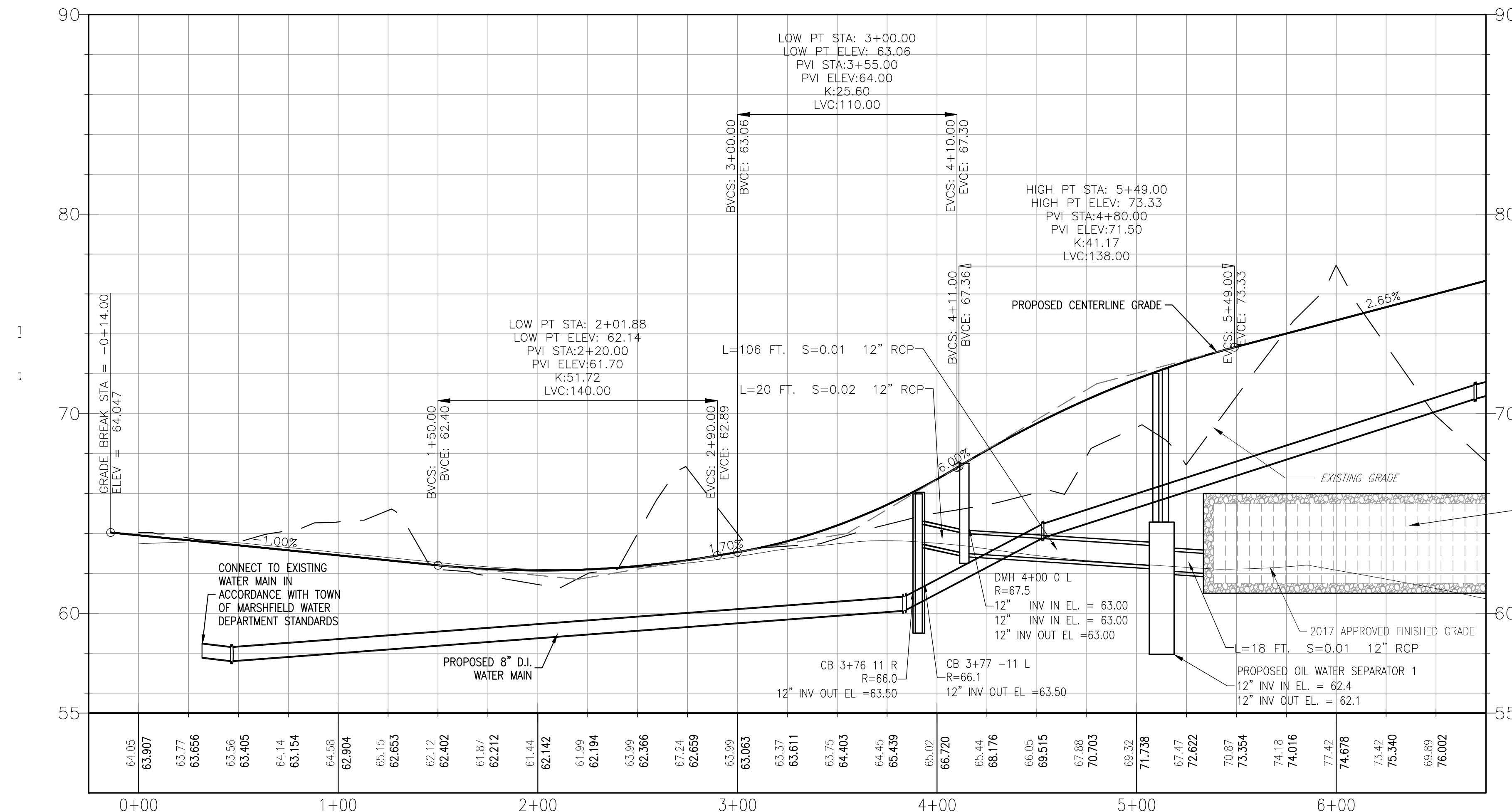
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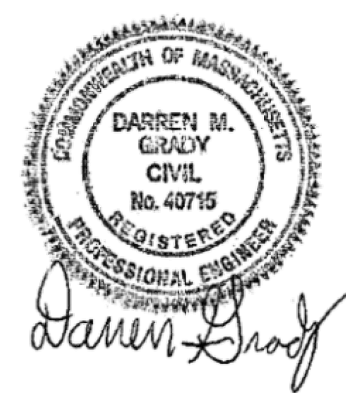
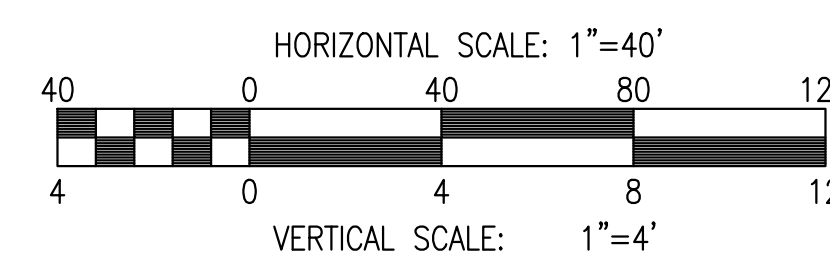
TIMOTHY R. BENNETT P.L.S. #36856 DATE



BRIDLE PATH PLANS
SCALE: 1"=40'



BRIDLE PATH PROFILE
SCALE: H: 1"=40' V: 1"=4'

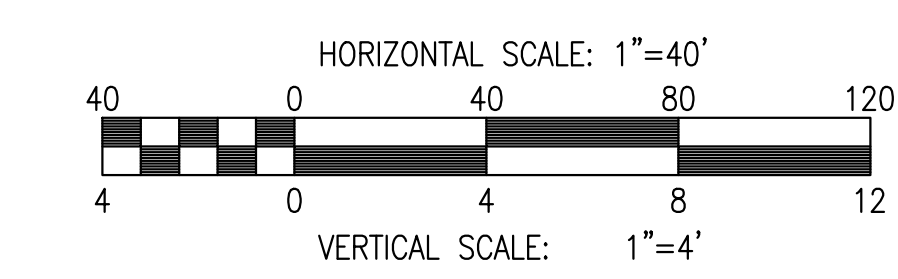
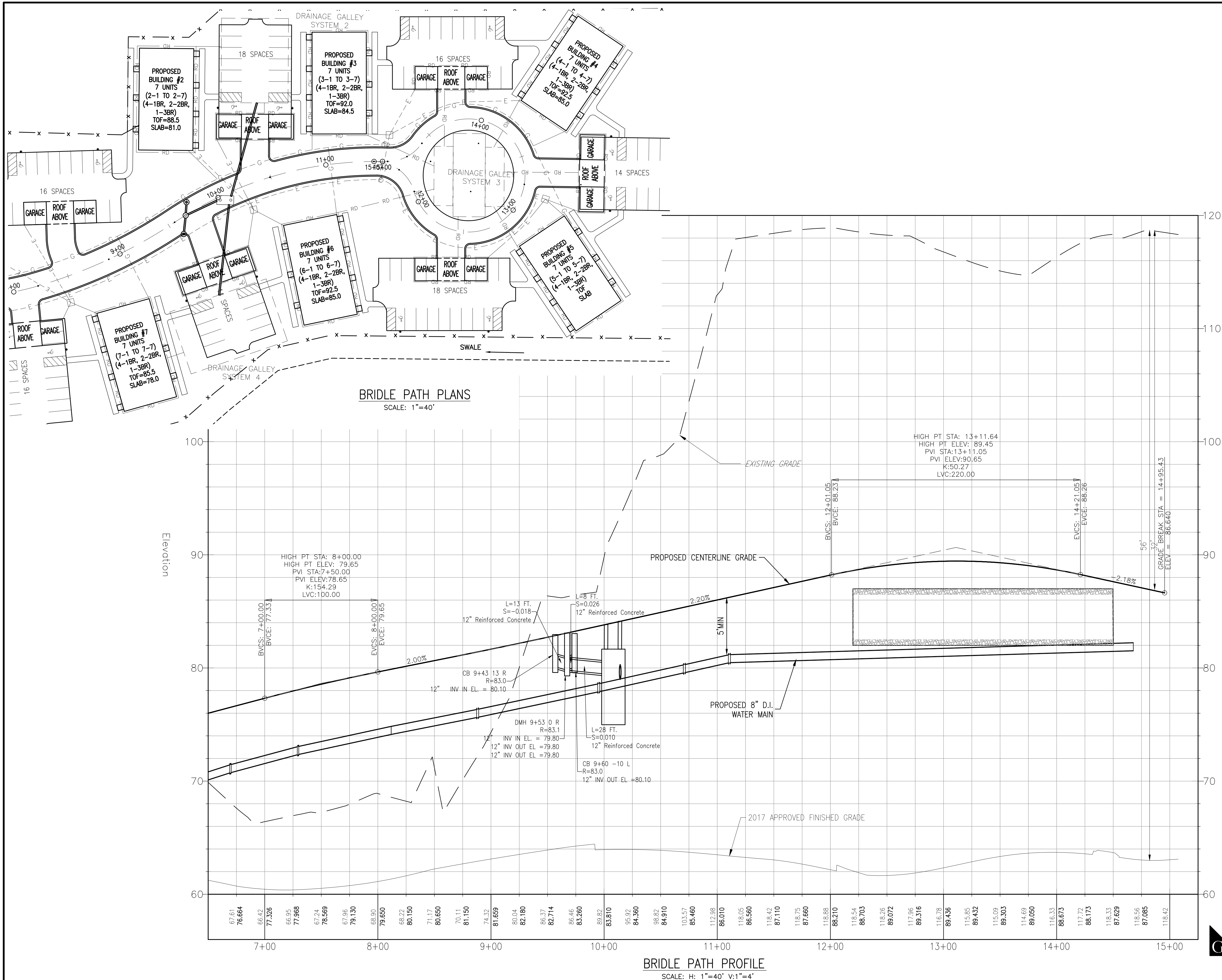


SITE PLAN BRIDLE CROSSING OFF FERRY STREET MARSHFIELD, MASSACHUSETTS

PREPARED FOR:
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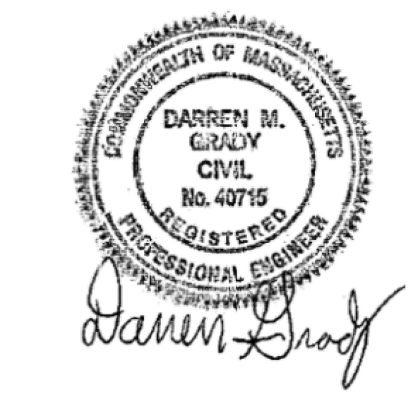


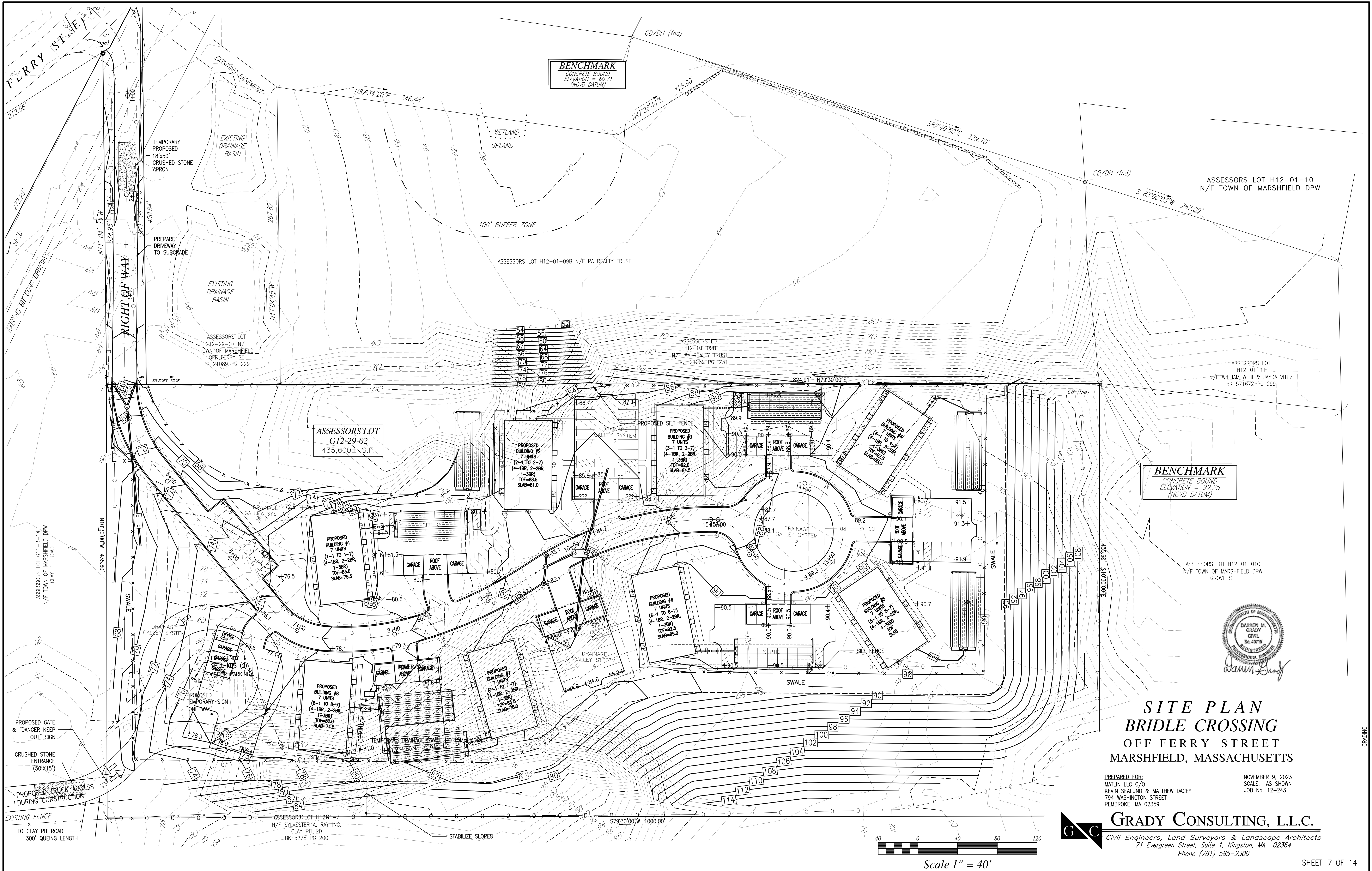
SITE PLAN **BRIDLE CROSSING** **OFF FERRY STREET** **MARSHFIELD, MASSACHUSETTS**

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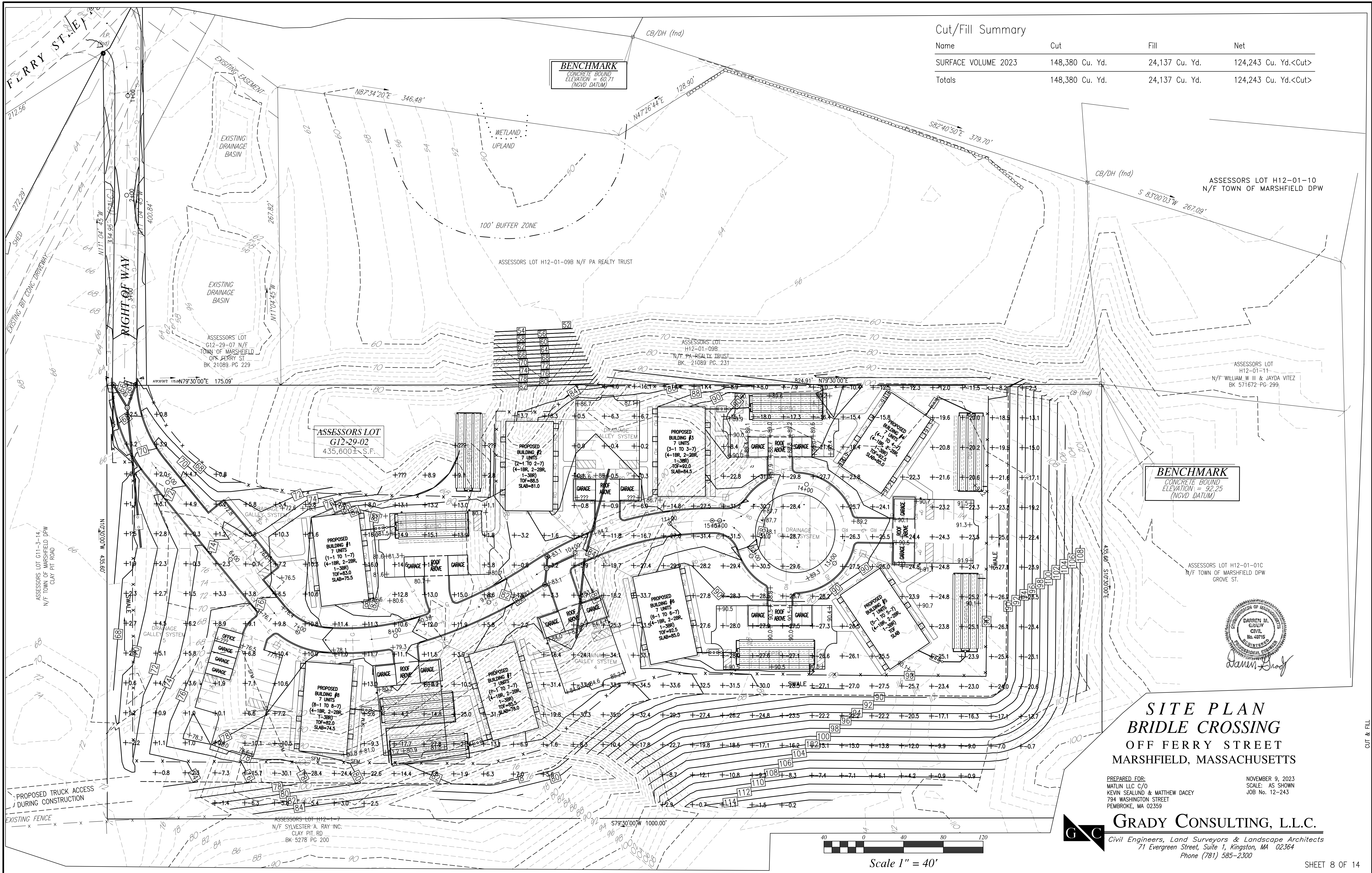
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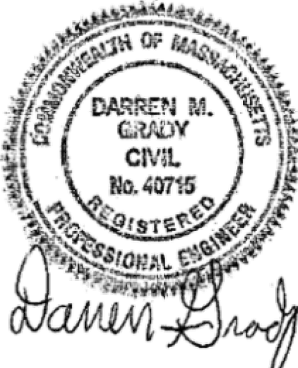




Cut/Fill Summary

Name	Cut	Fill	Net
SURFACE VOLUME 2023	148,380 Cu. Yd.	24,137 Cu. Yd.	124,243 Cu. Yd.<Cut>
Totals	148,380 Cu. Yd.	24,137 Cu. Yd.	124,243 Cu. Yd.<Cut>

BENCHMARK
CONCRETE BOUND
ELEVATION = 92.25
(NGVD DATUM)

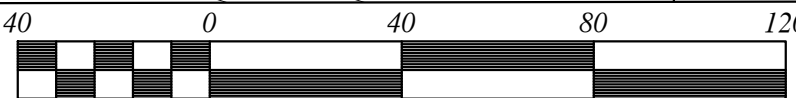


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Scale 1" = 40'

CERTIFICATION FOR GENERAL USE
(SINGLAIR 960DN 600):
THIS SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE
COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL
PROTECTION (DEP) CERTIFICATION FOR GENERAL USE, PURSUANT TO
TITLE 8, 310 CMR 15.000, MODIFIED OCTOBER 2, 2019 AND STANDARD
CONDITIONS FOR ALTERNATIVE SECONDARY TREATMENT UNITS WITH GENERAL
USE CERTIFICATION AND/OR APPROVAL FOR REMEDIAL USE REVISED MARCH
20, 2015, A DISCLOSURE NOTICE (310 CMR 15.287(10)) IN THE DEED TO
THE PROPERTY IS REQUIRED FOR SYSTEMS INSTALLED UNDER THE THIS
APPROVAL USE APPROVAL.



- SEPTIC DESIGN (NOT DESIGNED FOR GARBAGE GRINDER)

1. DESIGN DAILY FLOW: 11 BR. x 110 GPD = 1,320 GPD
2. SEPTIC TANK: 1,320 GPD x 2 = 2,640 GAL. USE: 1500 GAL (MIN)
3. LEACHING: P.R. < 2 MIN/IN CLASS I ASSUMED

USE: 4 - 70' LONG x 2' WIDE x 2' DEEP LEACHING TRENCHES

TITLE 5

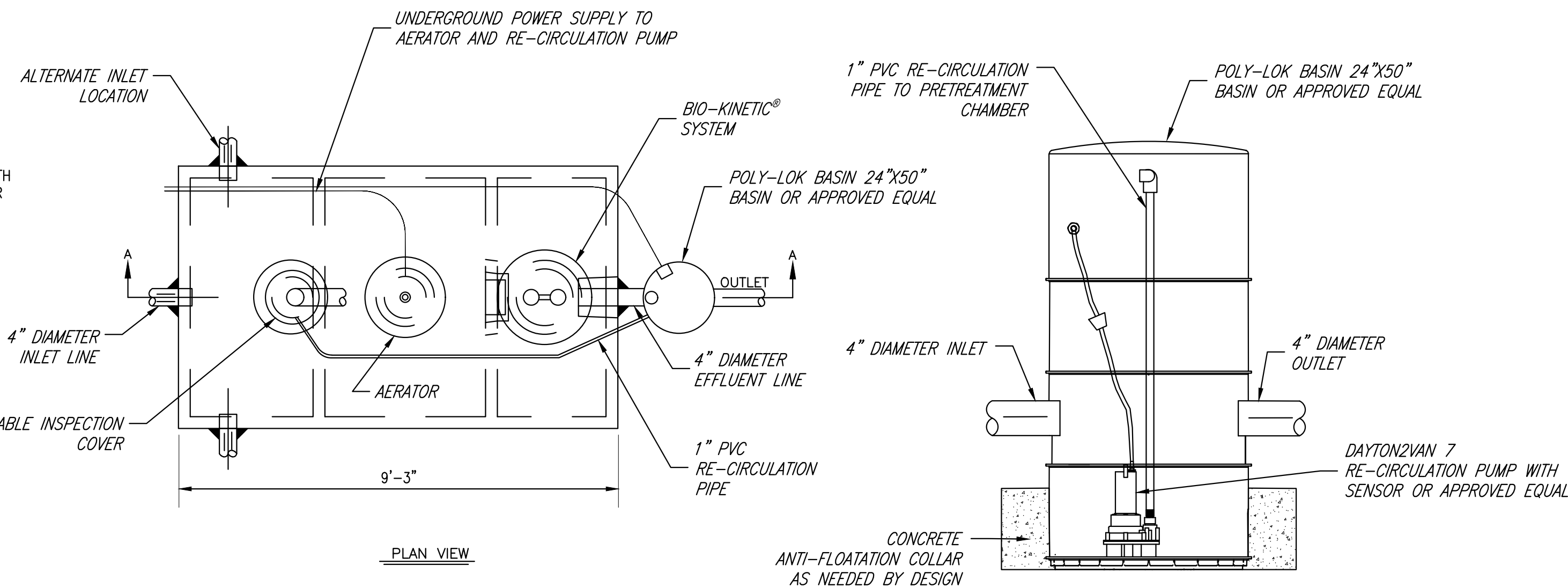
PROPOSED AREA: 4 X 75 LF x 6 SF/LF = 1,800 S.F.
CAPACITY: 1,800 S.F. x 0.74 GPD/S.F. = 1,332 > 1,320 GPD(D.D.F.)



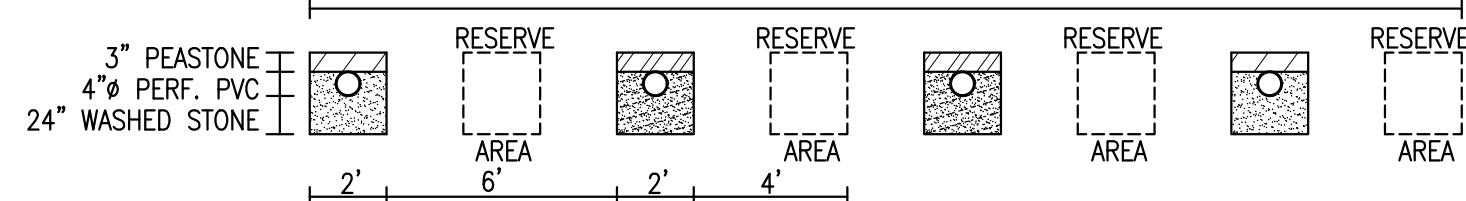
1. 4,000 P.S.I. CONCRETE @ 28 DAYS
2. KNOCK-OUT OPENINGS FOR 4" PVC
3. REINFORCING ASTM A-615, GRADE-60
4. BUTYL SEALANT AVAILABLE
5. DESIGN LOADING AASHTO HS-20

D-BOX DETAIL

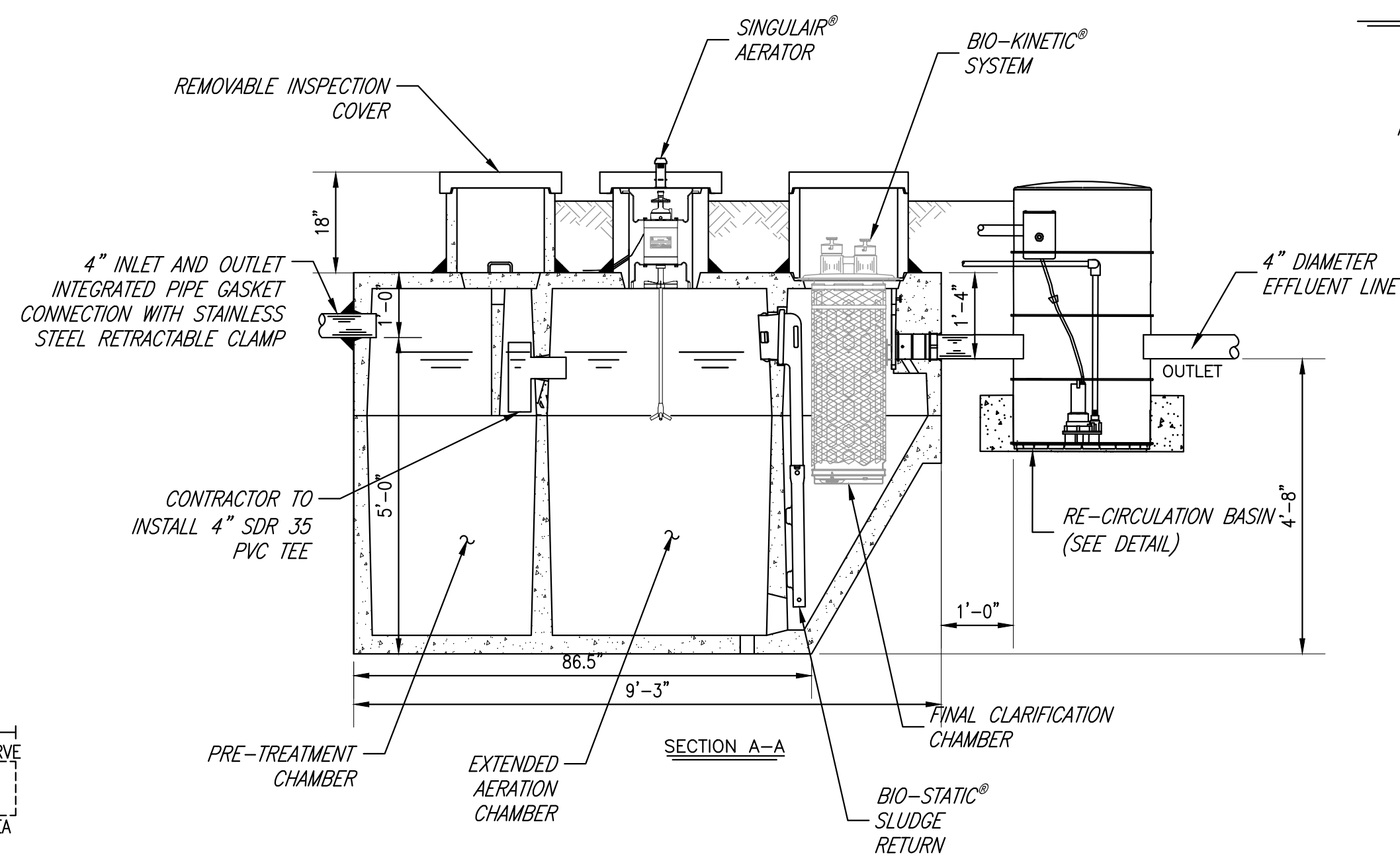
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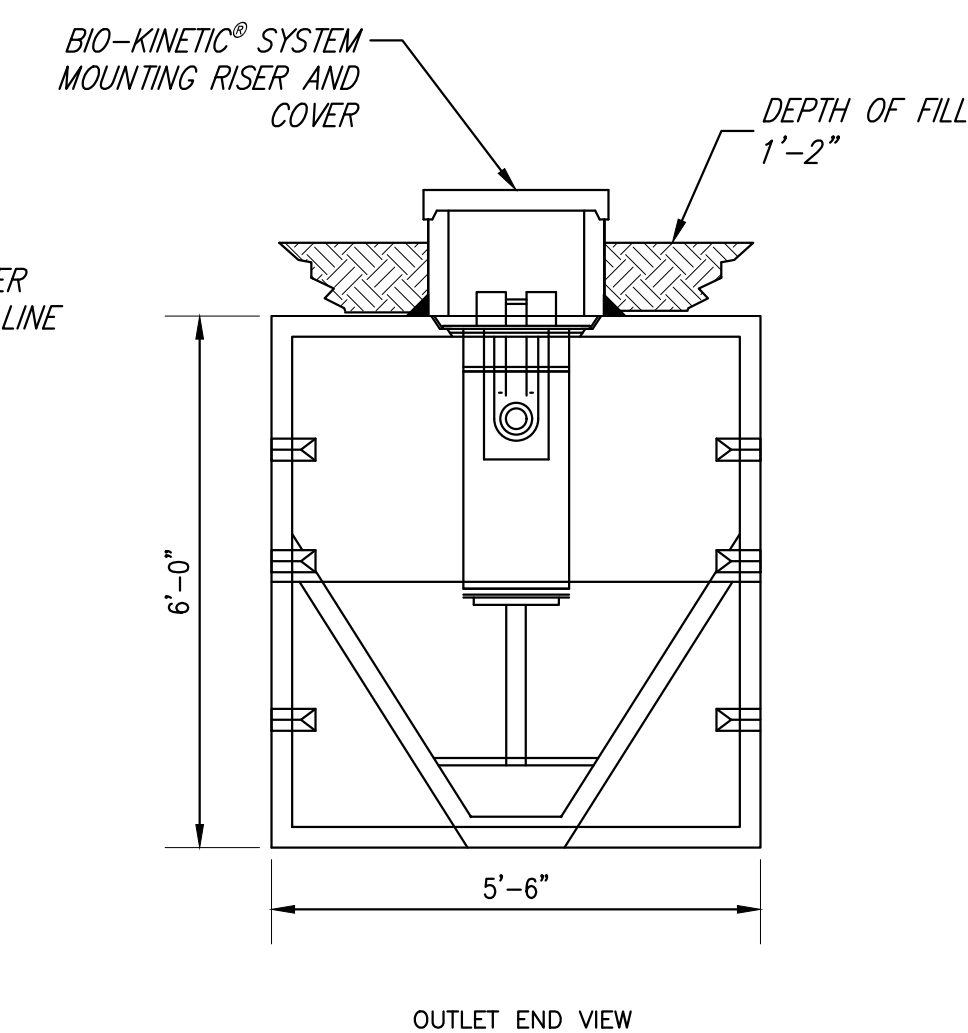
RE-CIRCULATION BASIN DETAIL



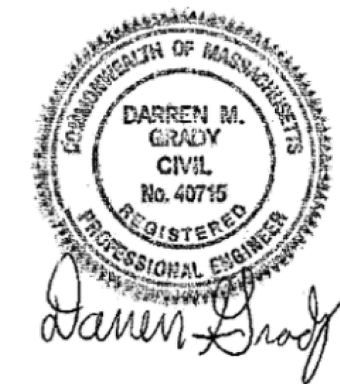
LEACHING TRENCHES X-SECTION A-A
(NOT TO SCALE)



SINGULAIR BIO KINETIC WASTEWATER TREATMENT SYSTEM 960DN 600 STANDARD
(NOT TO SCALE)



OUTLET END VIEW



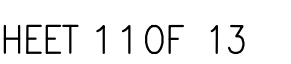
SITE PLAN
BRIDLE CROSSING
OFF FERRY STREET
MARSHFIELD, MASSACHUSETTS

PREPARED FOR:
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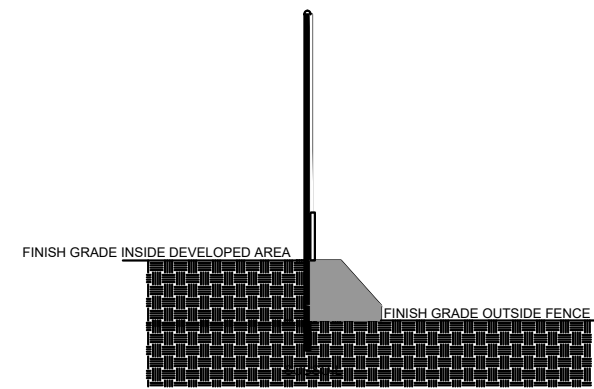
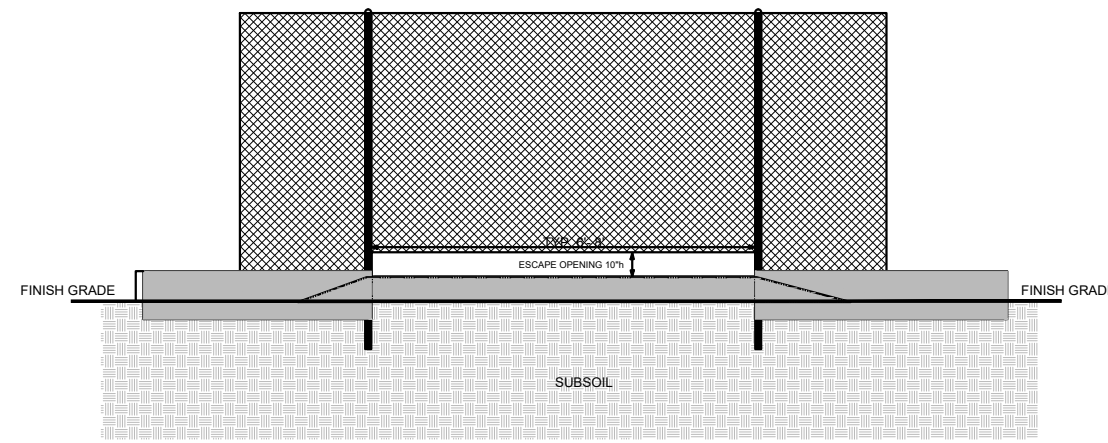
NOVEMBER 9, 2023
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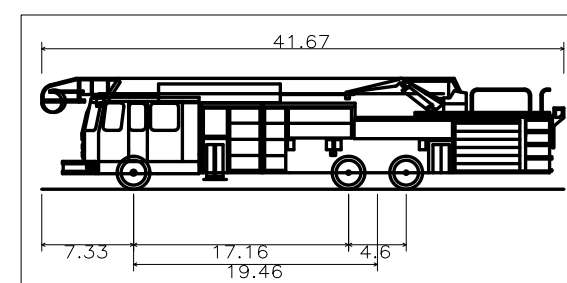
SEPTIC DETAILS



EASTERN BOX TURTLE EXCLUSION FENCE WITH ESCAPE DETAIL NOT TO SCALE



FENCE DETAIL (NOT TO SCALE)



Marshfield Ladder 2020
Overall Length 41.670ft
Overall Width 8.333ft
Overall Body Height 8.851ft
Min Body Ground Clearance 9.775ft
Track Width 6.500ft
Lock-to-lock time 6.00s
Max Wheel Angle 37.00°

23.4.6 Access aisles: All accessible spaces shall have access aisles that comply with the following:

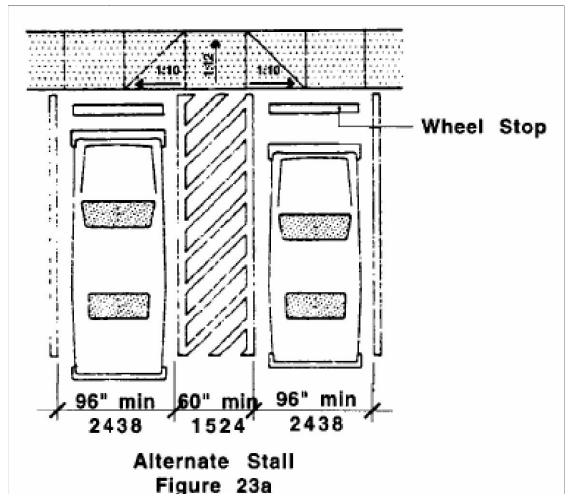
- Parking access aisles shall be part of an accessible route to the building or facility entrance and shall comply with 521 CMR 20.00; ACCESSIBLE ROUTE.

Exception: For temporary accessible parking, directional signage along the entire accessible route, using the international symbol of accessibility and an arrow, shall be used to direct people to the closest accessible entrance.

- Access aisles adjacent to accessible spaces shall be five feet (5' = 1524mm) wide minimum, except adjacent to van accessible spaces the access aisle shall be a minimum of eight feet (8' = 2438mm) wide.

Exception: When temporary accessible parking is located within a field or otherwise unimproved site, when such area has not been improved in accordance with 521 CMR, the spaces shall be located on the least sloping area of the parking lot in conjunction with the temporary accessible parking spaces.

- Two accessible parking spaces may share a common access aisle. See Fig. 23a and 23b.



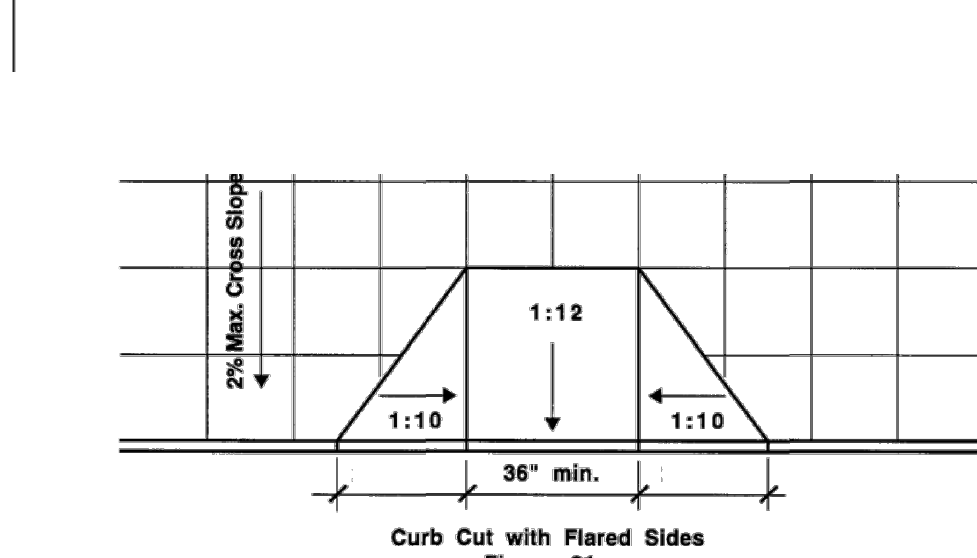
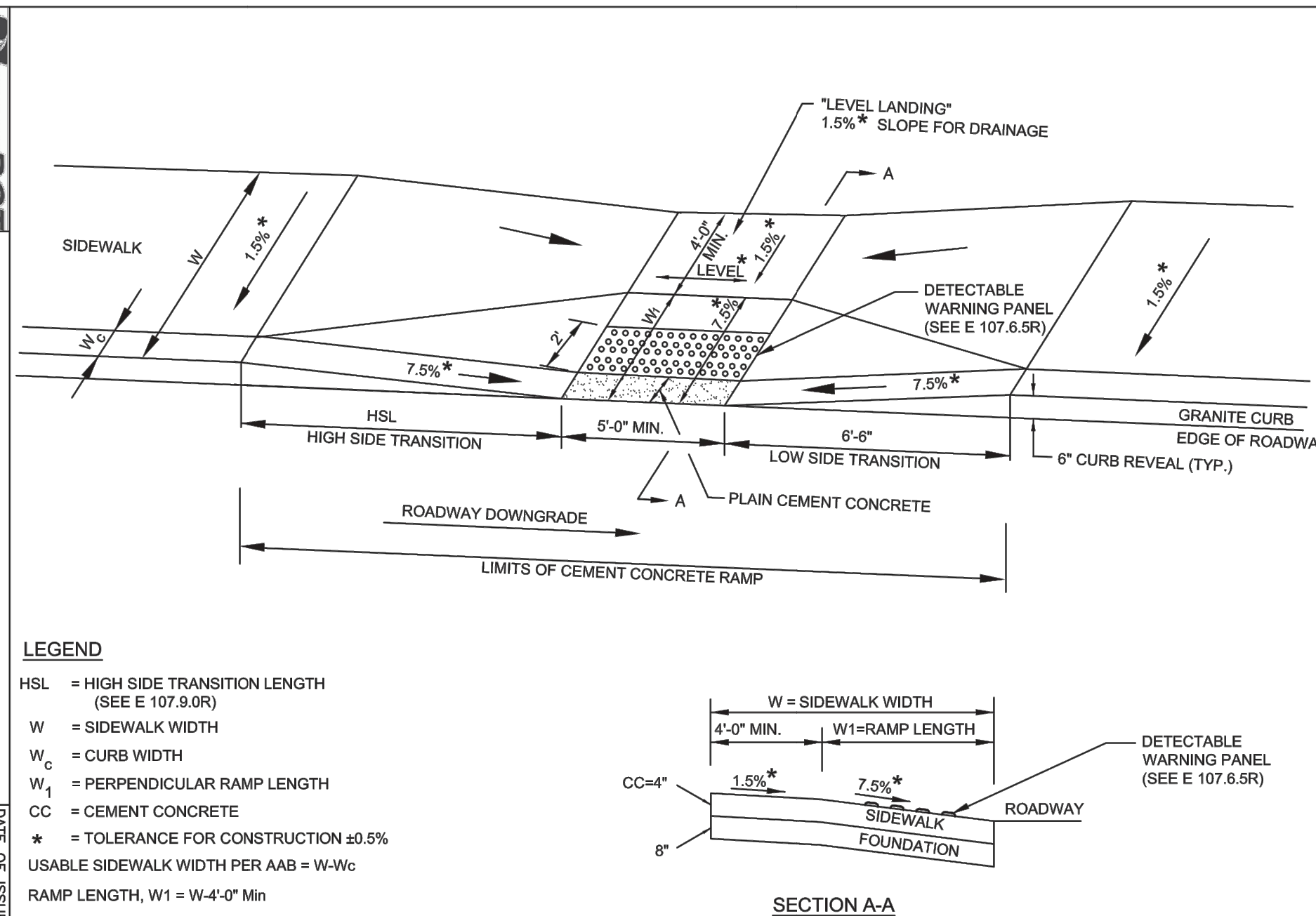
- Access aisles shall be level with surface slopes not exceeding 1:50 (2%) in all directions.
- Access aisles shall be clearly marked by means of diagonal stripes.

23.4.7 Van Accessible spaces shall comply with the following:

- Provide minimum vertical clearance of eight feet, two inches (8'2\" = 2489mm) at the parking space and along at least one vehicle access route to such spaces from site entrance(s) and exit(s). See Fig. 23c.

ACCESSIBILITY PARKING (NOT TO SCALE)

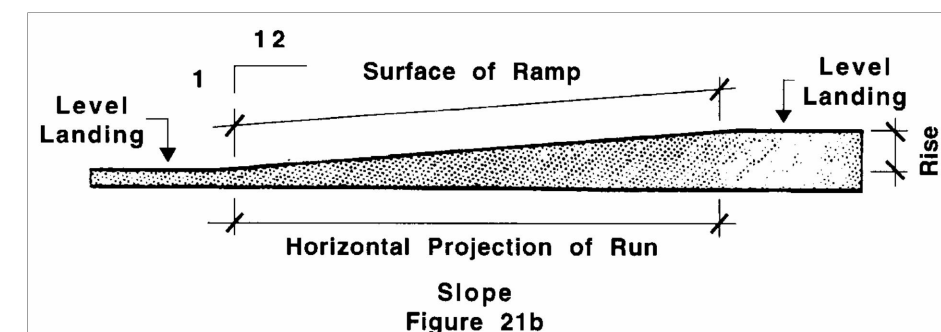
MASSDOT CONSTRUCTION STANDARDS WHEELCHAIR RAMPS LESS THAN 12'-4\"/>



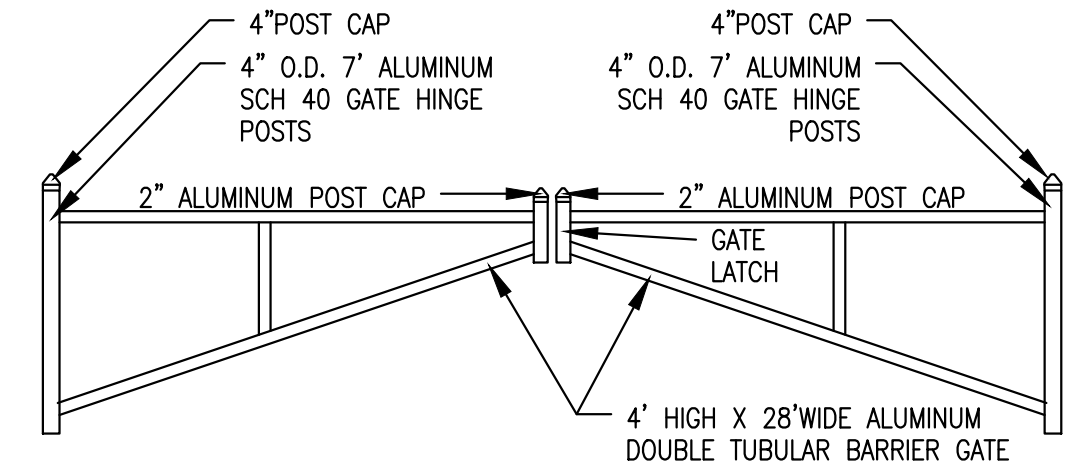
- RETURNED SIDES**
Curb cuts with returned sides are only permitted where they are protected by handrails pursuant to 521 CMR 24.5, Handrails or where pedestrian travel across the ramp is obstructed by permanently installed street hardware or landscaping. See Fig. 21d.

RAMP FLARED SIDES DETAIL (NOT TO SCALE)

- SLOPE**
The least possible slope should be used for any ramp. The maximum slope shall be one-in-12 (1:12) (8.3%). Where sidewalks are too narrow to install a straight-line curb cut at a slope of one-in-12 (1:12) (8.3%), the sides of the curb cut shall not exceed one-in-12 (1:12) (8.3%). See Fig. 21b. The maximum cross-slope for any curb cut shall be 1:50 (2%). (There is no tolerance allowed on slope requirements). (Refer to 521 CMR 2.4.4d).



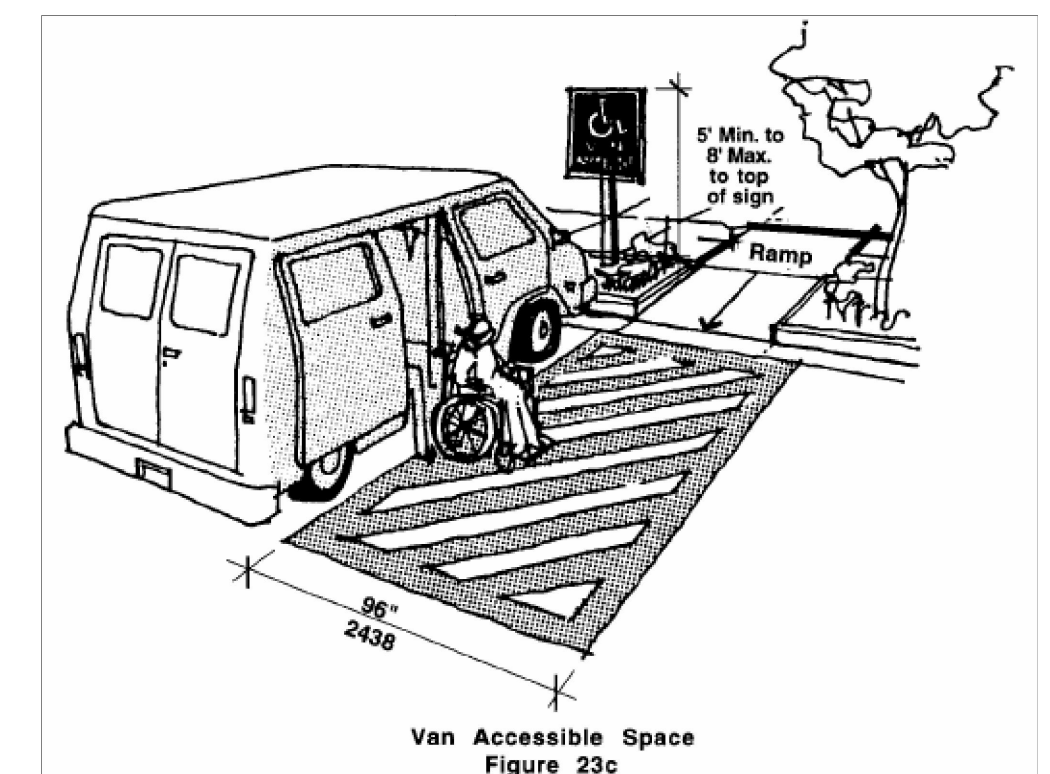
RAMP SLOPE DETAIL (NOT TO SCALE)



- THE GATE SHALL BE AS SHOWN OR APPROVED EQUAL.
- GATE HINGE POSTS SHALL BE SET IN CONCRETE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION MANUAL.
- ACCESS GATE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS GUIDELINES
- THE GATE SHALL BE FITTED WITH "DANGER KEEP OUT" SIGNAGE.

ACCESS GATE DETAIL (NOT TO SCALE)

PARKING AND PASSENGER LOADING ZONES



- Each space shall have a sign designating it "Van Accessible" as required by 521 CMR 23.6, Signage.
- All such spaces may be grouped on one level of a parking structure.
- Eight foot minimum (8' = 2438mm) wide space.
- Provide an access aisle of eight feet (8' = 2438mm).

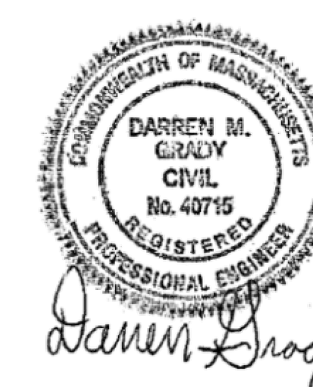
ACCESSIBILITY LOADING ZONE (NOT TO SCALE)



DANGER — KEEP OUT SIGN (NOT TO SCALE)



HANDICAP PARKING SIGN (NOT TO SCALE)



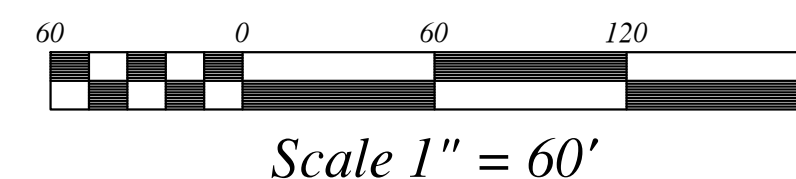
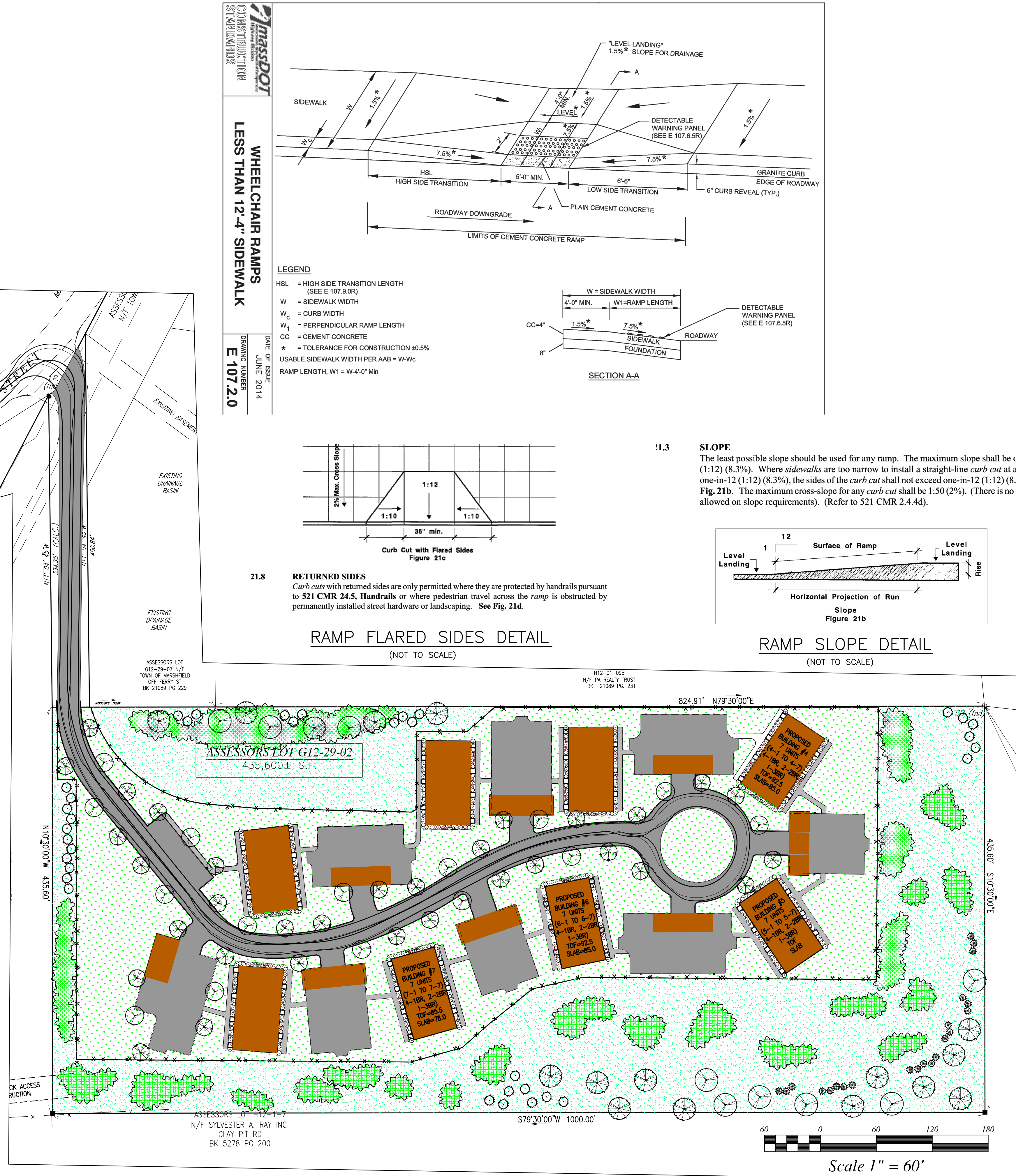
SITE PLAN BRIDLE CROSSING OFF FERRY STREET MARSHFIELD, MASSACHUSETTS

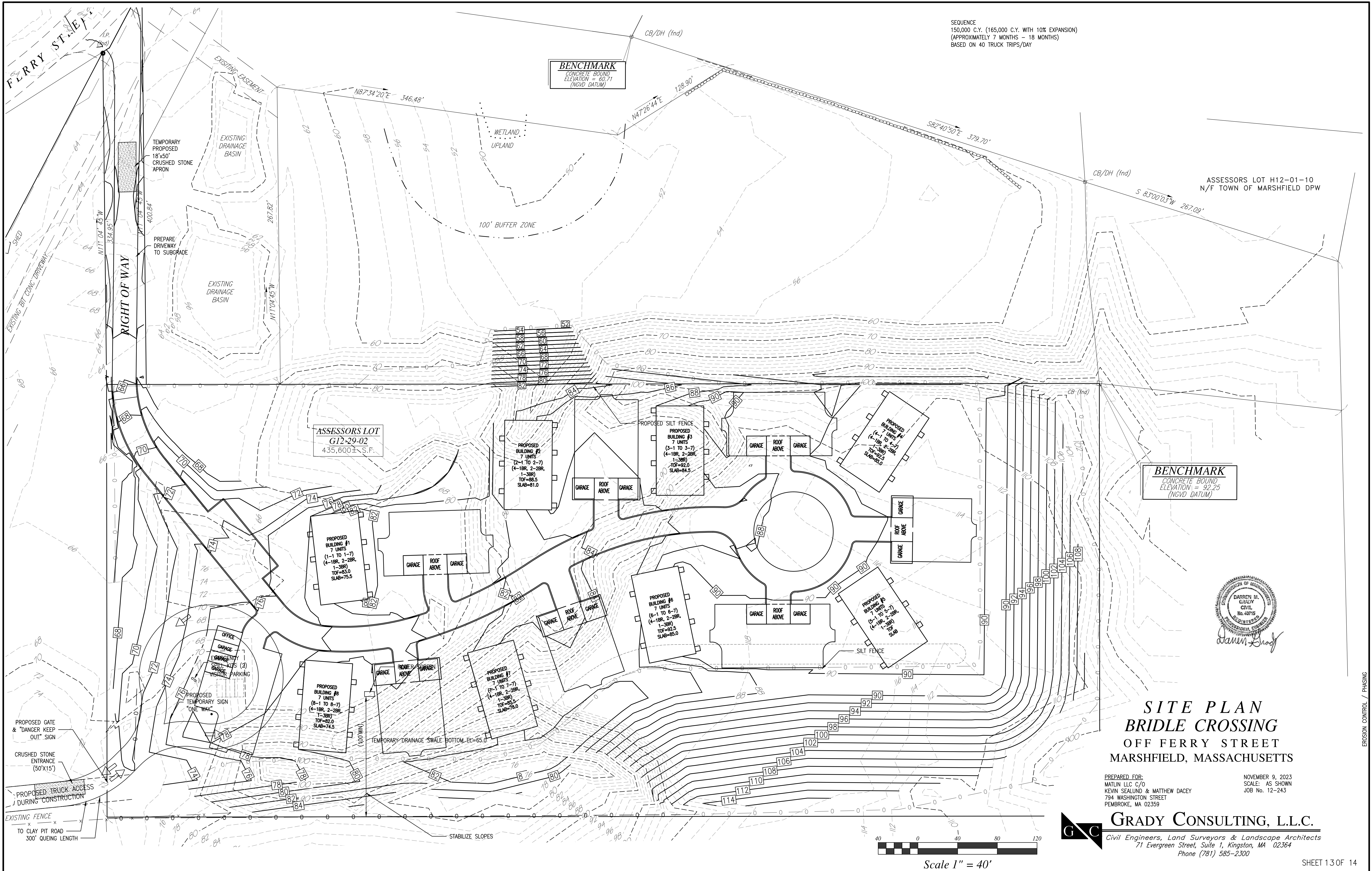
PREPARED FOR:
MATUN LLC C/O
KEVIN SEALUND & MATTHEW DACEY
794 WASHINGTON STREET
PEMBROKE, MA 02359

NOVEMBER 9, 2023
SCALE: AS SHOWN
JOB No. 12-243



GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300

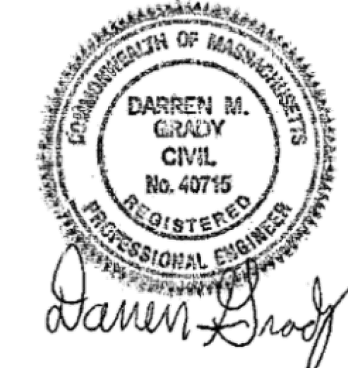




SEQUENCE
150,000 C.Y. (165,000 C.Y. WITH 10% EXPANSION)
(APPROXIMATELY 7 MONTHS - 18 MONTHS)
BASED ON 40 TRUCK TRIPS/DAY

ASSESSORS LOT H12-01-10
N/F TOWN OF MARSHFIELD DPW

BENCHMARK
CONCRETE BOUND
ELEVATION = 92.25
(NGVD DATUM)

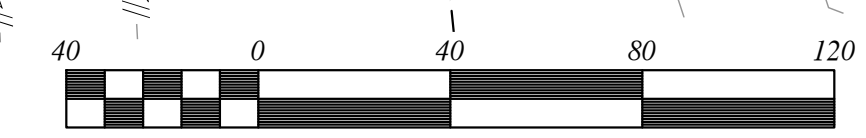


SITE PLAN BRIDLE CROSSING OFF FERRY STREET MARSHFIELD, MASSACHUSETTS

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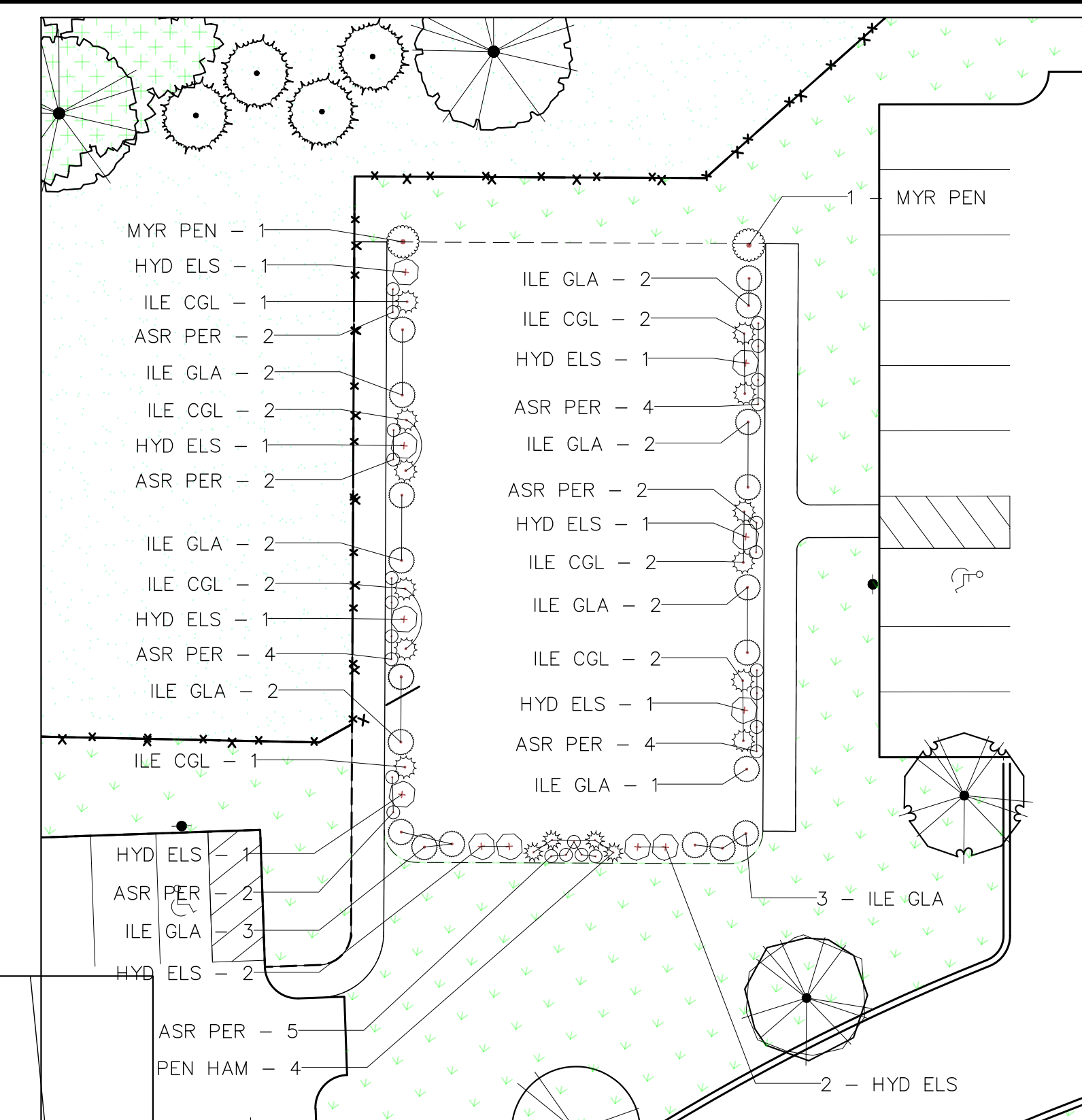
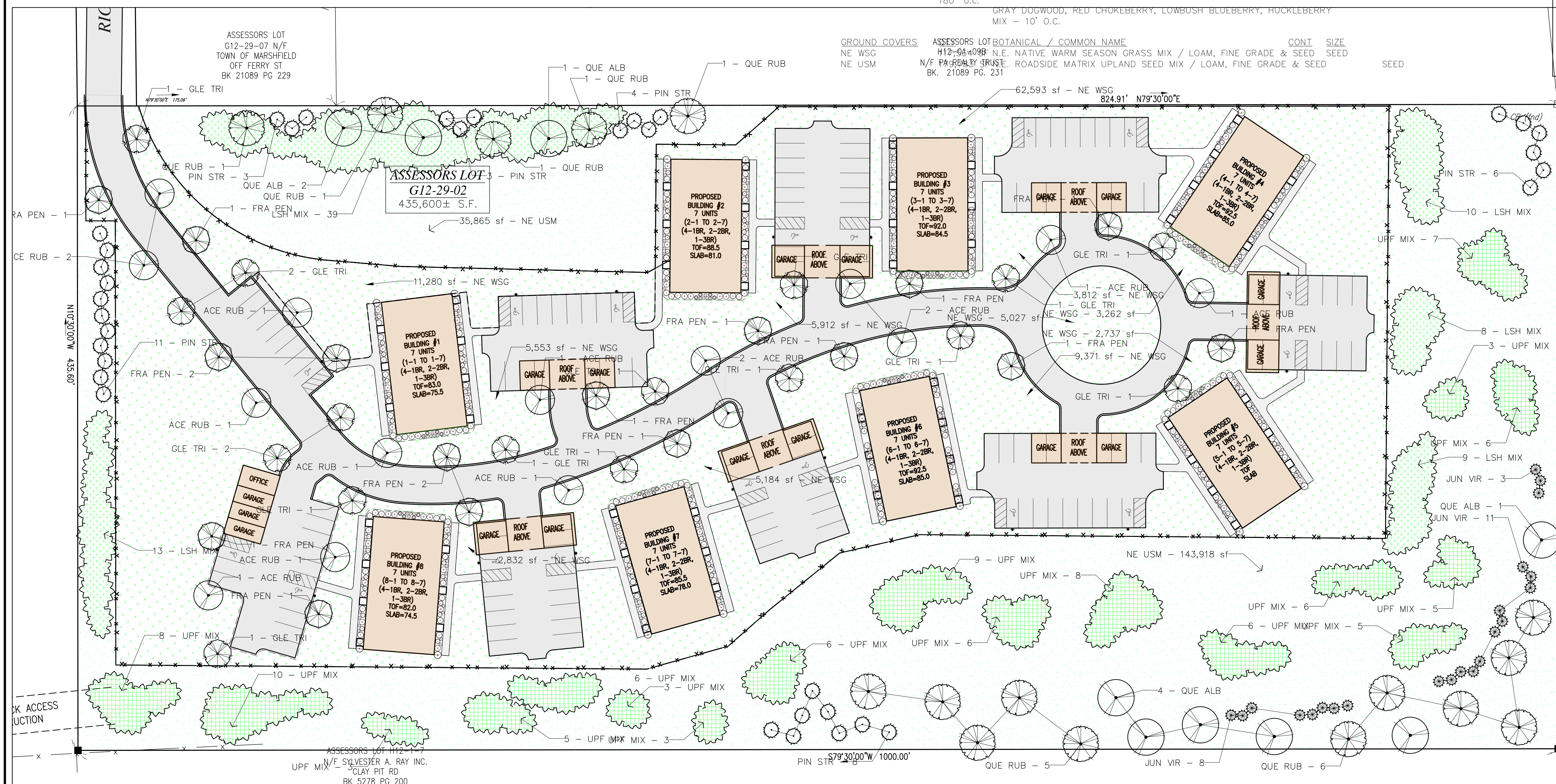
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Scale 1" = 40'

EROSION CONTROL / PHASING

<u>EVERGREEN TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
JUN VIR	22	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B		3-4' HGT.
PIN STR	35	PINUS STROBUS / WHITE PINE	B & B		3-4' HGT.
<u>STREET TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
ACE RUB	15	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	B & B	2" CAL	
FRA PEN	16	FRAXINUS PENNSYLVANICA / GREEN ASH	B & B	2" CAL	
GLE TRI	16	GLEDISIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	B & B		2" CAL
<u>SHADE TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
QUE ALB	9	QUERCUS ALBA / WHITE OAK	B & B	1" CAL	
QUE RUB	16	QUERCUS RUBRA / RED OAK	B & B	1" CAL	
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>		<u>SIZE</u>	<u>SIZE</u>
HYD ELS	88	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER' TM / BAILMER HYDRANGEA			SP 18-24"
ILE CGL	96	ILEX CRENATA 'GREEN LUSTRE' / GREEN LUSTER JAPANESE HOLLY	B & B		18-24" HGT.
ILE GLA	158	ILEX GLABRA 'SHAMROCK' / INKBERRY	3 GAL.		15-18" HGT.
MYR PEN	16	MYRICA PENNSYLVANICA / NORTHERN BAYBERRY	5 GAL.		2-2.5' HGT.
<u>ANNUALS/PERENNIALS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>			
	<u>SIZE</u>	<u>SP</u>			
ASR PER	200	ASSORTED PERENNIALS / TO BE SELECTED BY GC	1 GAL.		
<u>GRASSES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>		<u>SIZE</u>	<u>SP</u>
PEN HAM	32	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS			2 GAL.
<u>SHRUB AREAS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>SIZE</u>	
LSH MIX	79	LATE SUCCESSIONAL HABITAT MIX MIX	2 GAL		18-24" HGT.
	180" o.c.	BEECH ROSE, GRAY DOGWOOD, STACHORN SUMAC, RED CHOKEBERRY, SWEET FERN, BLACK CHERRY MIX - 10' O.C.			
UPF MIX	105	UPLAND FOREST MIX	2 GAL		18-24" HGT.
	180" o.c.				


$$1'' = 20'-0''$$


SITE PLAN
BRIDLE CROSSING
OFF FERRY STREET
MARSHFIELD, MASSACHUSETTS

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